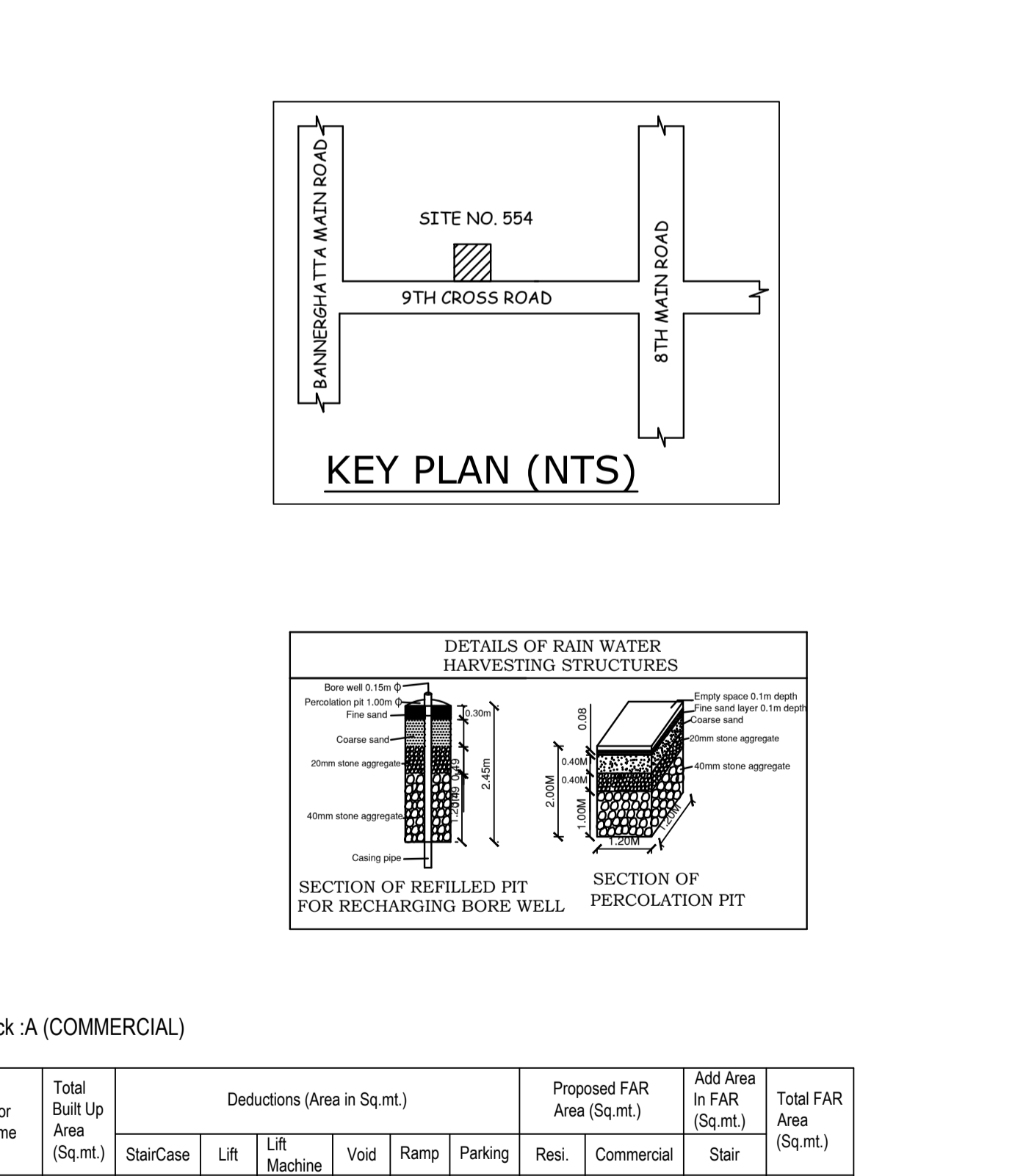
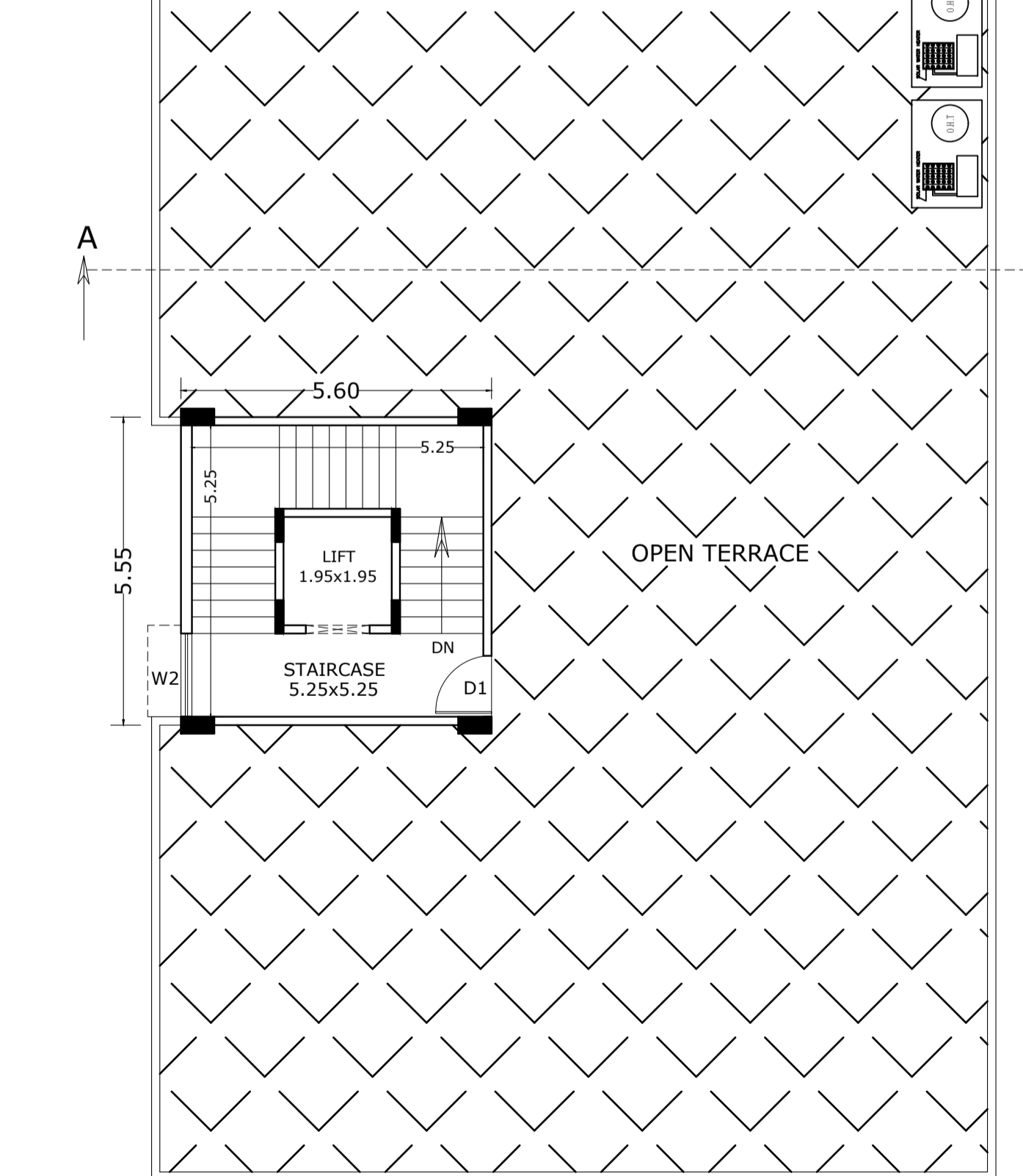
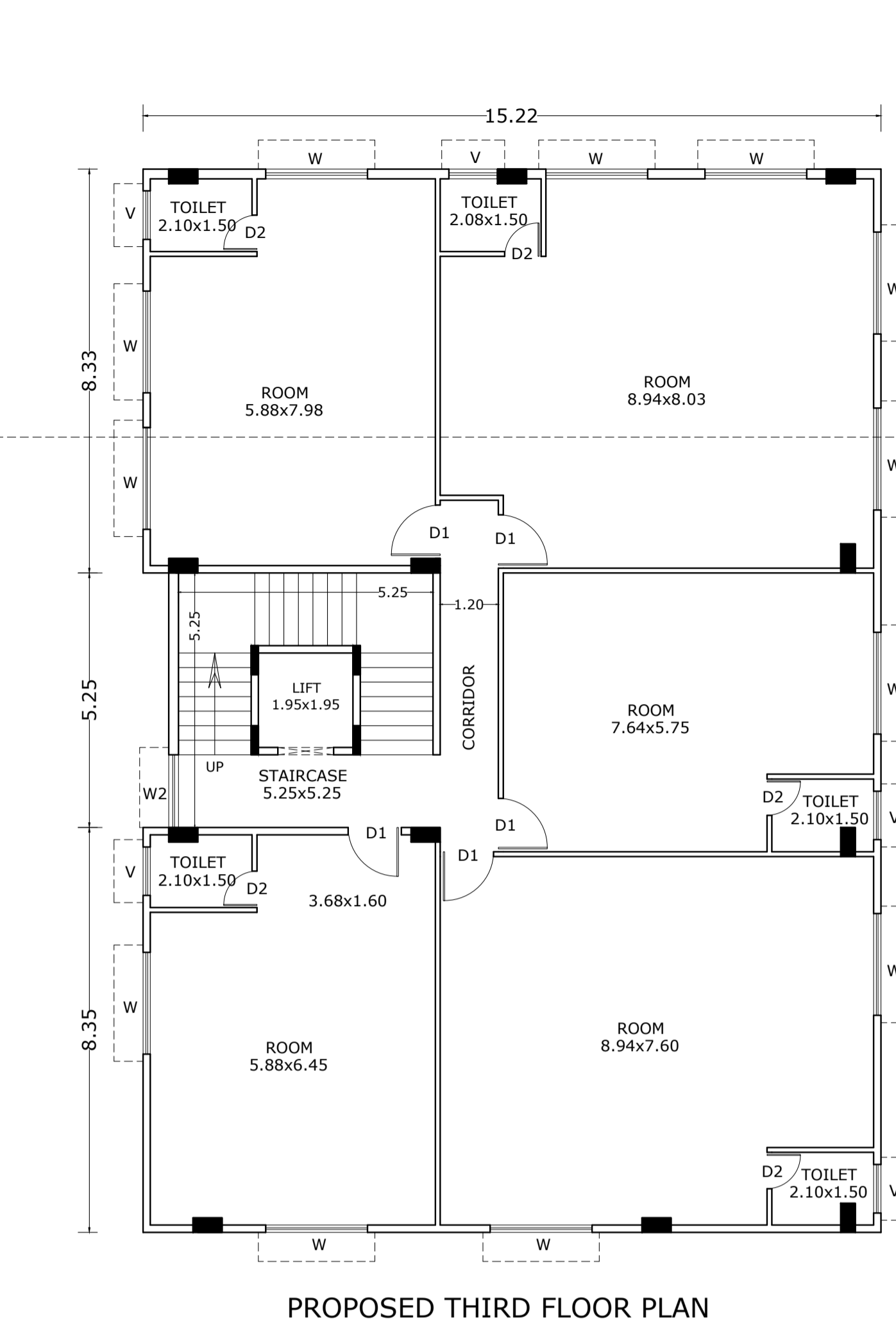
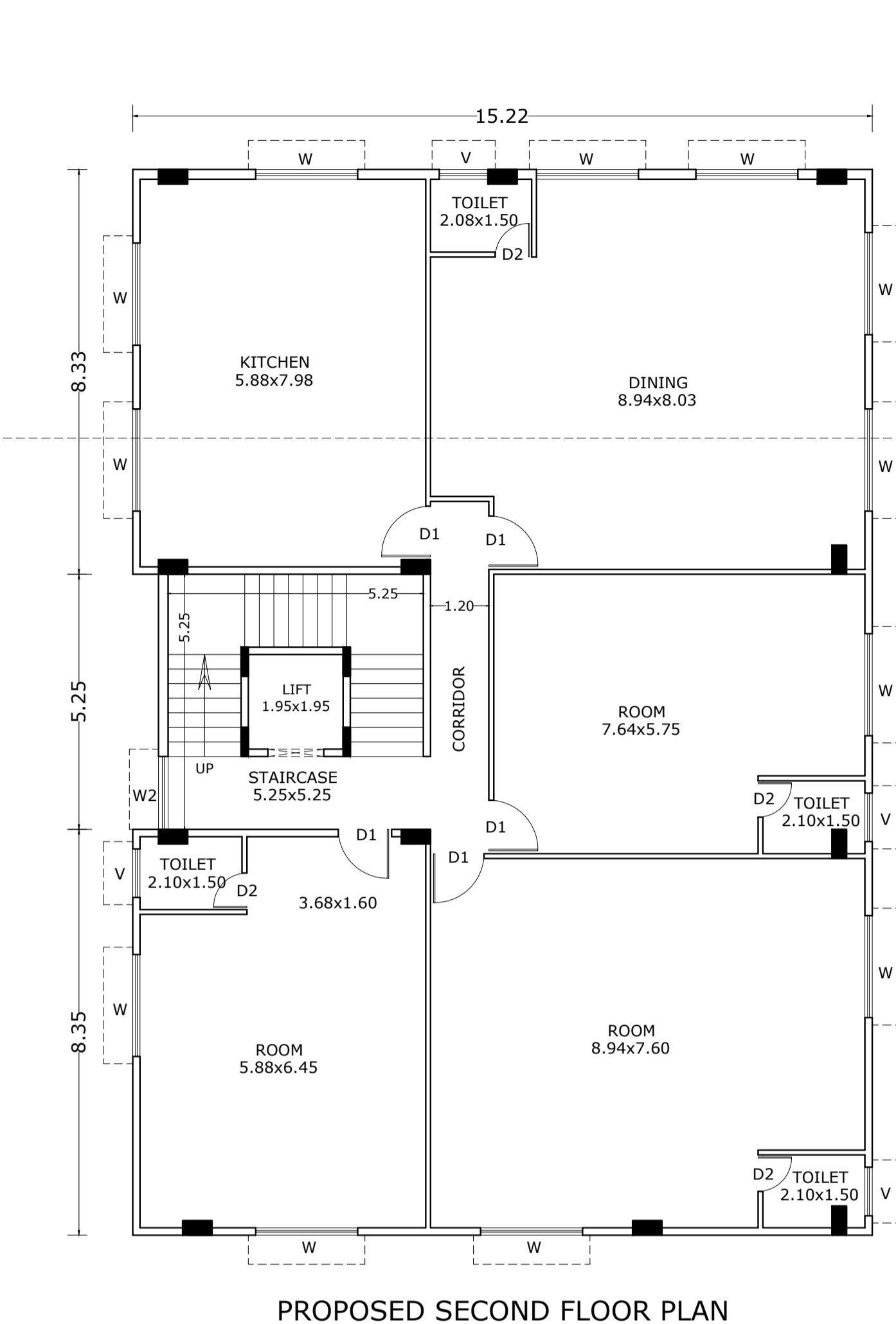
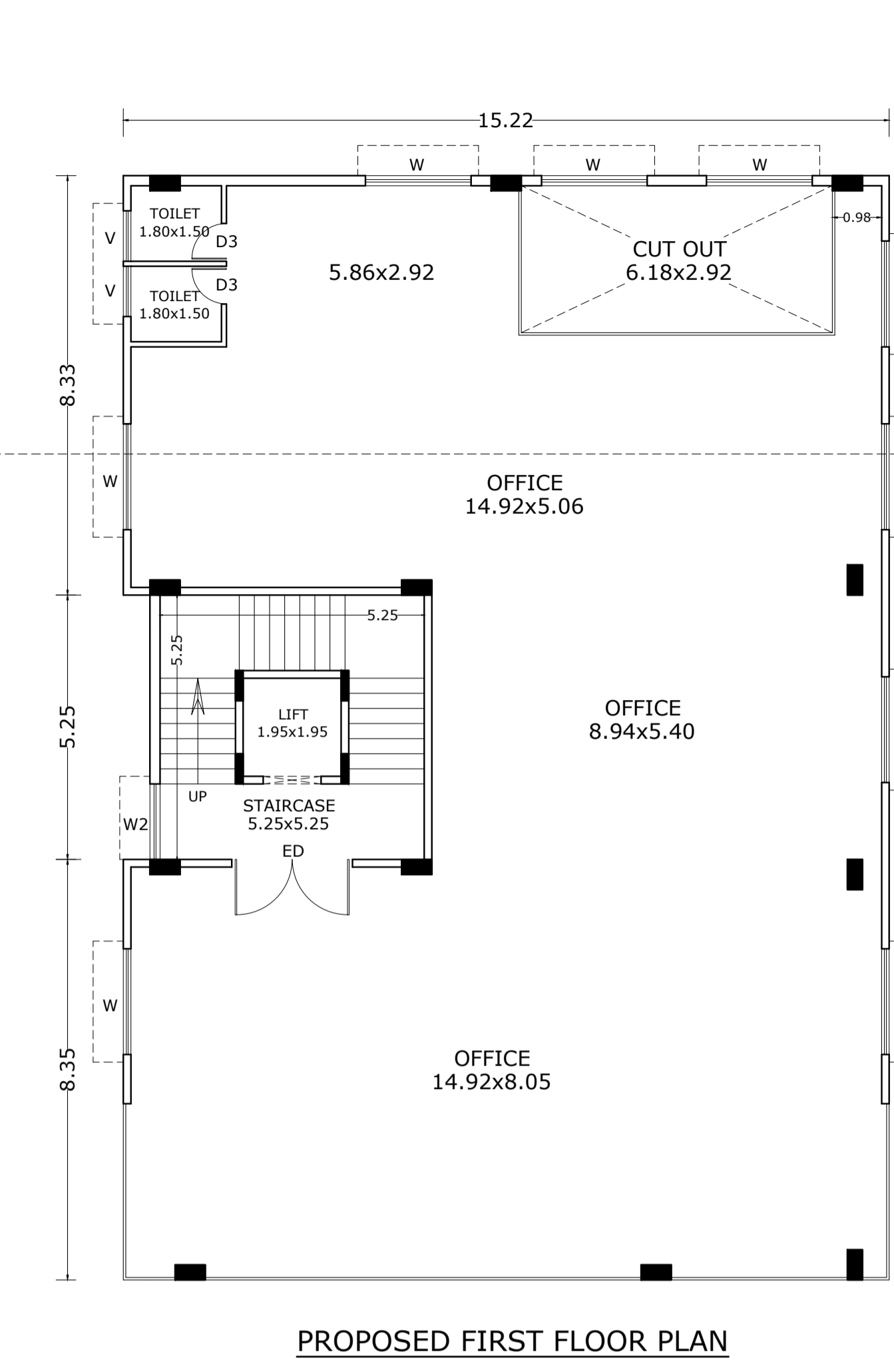


FAR & Tenement Details

Block	No. of Same Bldg	Total Built-Up Area (Sq.m)	Deductions (Area in Sq.m)						Proposed FAR Area (Sq.m)	Add Area in FAR (Sq.m)	Total FAR Area (Sq.m)
			StarCase	Lift	LR	Mach	Void	Ramp			
A (COMMERCIAL)	1	1652.49	31.44	19.00	3.80	96.28	84.71	293.71	654.40	454.52	1123.55
Grand Total:	1	1652.49	31.44	19.00	3.80	96.28	84.71	293.71	654.40	454.52	1123.55



Block - A (COMMERCIAL)

Floor Name	Total Built-Up Area (Sq.m)	Deductions (Area in Sq.m)						Proposed FAR Area (Sq.m)	Add Area in FAR (Sq.m)	Total FAR Area (Sq.m)
		StarCase	Lift	LR	Mach	Void	Ramp			
Terrace Floor	35.24	31.44	0.00	3.80	0.00	0.00	0.00	0.00	0.00	
Third Floor	331.00	0.00	3.80	0.00	0.00	0.00	327.20	0.00	327.20	
Second Floor	331.00	0.00	3.80	0.00	0.00	0.00	309.15	0.00	309.15	
First Floor	331.00	0.00	3.80	0.00	0.00	0.00	145.37	0.00	145.37	
Ground Floor	306.51	0.00	3.80	0.00	0.00	79.11	0.00	145.37	0.00	
Basement Floor	317.74	0.00	3.80	0.00	0.00	84.71	214.60	0.00	14.63	
Grand Total:	1652.49	31.44	19.00	3.80	96.28	84.71	293.71	654.40	454.52	

Approval Condition:

This Plan Sanction is issued subject to the following conditions:

1. Sanction is accorded for the Commercial building and Residential hotel building at 554, 9th cross road, 3rd phase JP Nagar, Bangalore, Bangalore.

2. Sanction is accorded for Commercial building and Residential hotel use only. The use of the building shall not be deviated to any other use.

3. 293.51 area reserved for car parking shall not be converted for any other purpose.

4. Development charges towards increasing the capacity of water supply, sanitary and power main has to be paid to DVSSB and BESCOM if any.

5. Necessary ducts for running telephone cables, cables at ground level for postal services & space for dumping garbage within the premises shall be provided.

6. The applicant shall ensure that all workmen involved in the construction work against any accident / untoward incidents arising during the time of construction.

7. The applicant shall not stock any building materials / debris on footpath or on roads or on drains. The debris shall be removed and transported to near by dumping yard.

8. The applicant shall maintain during construction such barricading as considered necessary to prevent dust, debris & other materials endangering the safety of people / structures etc. in & around the site.

9. The applicant shall plant at least two trees in the premises.

10. Permission shall be obtained from forest department for cutting trees before the commencement of the work.

11. License and approved plans shall be posted in a conspicuous place of the licensed premises. The building license and the copies of sanctioned plans with specifications shall be mounted on a frame and displayed and they shall be made available during inspections.

12. If any owner / builder contravenes the provisions of Building Bye-laws and rules in force, the Architect / Engineer / Supervisor will be informed by the Authority in the first instance, warned in the second instance and cancel the registration if the same is repeated for the third time.

13. Technical personnel, applicant or owner in the case may be shall strictly adhere to the duties and responsibilities specified in Schedule - IV (Bye-law No. 3) under sub-section (V) (b) (i).

14. The building shall be constructed under the supervision of a registered structural engineer.

15. On completion of foundation or footings before erection of walls on the foundation and in the case of columnar structure before erecting the columns "COMMENCEMENT CERTIFICATE" shall be obtained.

16. Drinking water supply or bottles should not be used for the construction activity of the building.

17. The applicant shall ensure that the Rain Water Harvesting Structures are provided & maintained in good repair for storage of water for non potable purposes or recharge of ground water at all times having a minimum total capacity mentioned in the Bye-law 32(a).

18. If any owner / builder contravenes the provisions of Building Bye-laws and rules in force, the authority will inform the same to the concerned registered Architect / Engineer / Supervisor in the first instance, warn in the second instance and cancel the registration of the professional if the same is repeated for the third time.

19. The Builder / Contractor / Professional responsible for supervision of work shall not shall not materially and structurally deviate the construction from the sanctioned plan, without previous approval of the authority. They shall explain to the owner s about the risk involved in contravention of the provisions of the Act, Rules, Bye-laws, Zoning Regulations, Standing Orders and Policy Orders of the BBMP.

20. In case of any false information, misrepresentation of facts, or pending court cases, the plan sanction is deemed cancelled.

Special Condition as per Labour Department of Government of Karnataka vide ADDENDUM (HoasagaHoodke) Letter No. LD95/LET/2013, dated: 01-04-2013:

1. Registration of Applicant / Builder / Owner / Contractor and the construction workers working in the construction site with the Karnataka Building and Other Construction workers Welfare Board should be strictly adhered to.

2. The Applicant / Builder / Owner / Contractor should submit the Registration of establishment and list of construction workers engaged at the time of issue of Commencement Certificate. A copy of the same shall also be submitted to the concerned local Engineer in order to inspect the establishment and ensure the registration of establishment and workers working at construction site or work place.

3. The Applicant / Builder / Owner / Contractor shall also inform the changes if any of the list of workers engaged by him.

4. At any point of time No Applicant / Builder / Owner / Contractor shall engage a construction worker in his site or work place who is not registered with the Karnataka Building and Other Construction workers Welfare Board.

Note:

1. Accommodation shall be provided for setting up of schools for imparting education to the children o construction workers in the labour camps / construction sites.

2. List of children of workers shall be furnished by the builder / contractor to the Labour Department which is mandatory.

3. Employment of child labour in the construction activities strictly prohibited.

4. Obtaining NOC from the Labour Department before commencing the construction work is a must. BBMP will not be responsible for any dispute that may arise in respect of property in question.

5. In case if the documents submitted in respect of property in question is found to be false or fabricated, the plan sanctioned stands cancelled automatically and legal action will be initiated.

7. THE OWNER / BUILDER SHOULD ENSURE THE REQUIRED SAFETY MEASURES WHILE EXCAVATION FOR BASEMENT/FOUNDATION AND CONSTRUCTING THE BASEMENT/ FOUNDATION/STILT AND UPPER FLOORS WITH REGARD TO THE STABILITY OF THE STRUCTURE, SAFETY OF THE NEIGHBOURS AND CONSTRUCTION LABOURERS. OWNER/BUILDER WILL BE HELD RESPONSIBLE FOR ANY LAPSES IN THIS REGARD.

Block - A (COMMERCIAL)

Required Parking (Table 7a)

Block Name	Type	SubUse	Area (Sq.m)	Reqd.	Prop.	Reqd./Min	Car	Reqd.	Prop.
A (COMMERCIAL)	Commercial	Professional Office	> 0	50	454.52	1	9	9	9
A (COMMERCIAL)	Residential	Hostel	10 Rooms	1	1	1	1	1	1
Total:				-	-	-	10	10	10

Parking Check (Table 7b)

Vehicle Type	Reqd.		Achieved	
	No.	Area (Sq.m)	No.	Area (Sq.m)
Car	10	137.50	10	137.50
Two/Car	10	137.50	10	137.50
Other Parking				156.01
Total		137.50		293.51

SCHEDULE OF JOINERY:

BLOCK NAME	NAME	LENGTH	HEIGHT	NOS
A (COMMERCIAL)	D2	0.75	2.10	11
A (COMMERCIAL)	D1	1.10	2.10	10
A (COMMERCIAL)	ED	2.40	2.10	02

SCHEDULE OF JOINERY:

BLOCK NAME	NAME	LENGTH	HEIGHT	NOS
A (COMMERCIAL)	V	1.00	0.60	11
A (COMMERCIAL)	W2	1.50	1.50	05
A (COMMERCIAL)	W1	1.80	1.80	01
A (COMMERCIAL)	W	2.10	1.80	43

The plans are approved in accordance with the acceptance for approval by the Joint Commissioner (SOUTH) on date: 03/08/2019 vide lp number: BBMP/Ad.Com./SUT/0285/19-20 subject to terms and conditions laid down along with this building plan approval.

Validity of this approval is two years from the date of issue.

ASSISTANT DIRECTOR OF TOWN PLANNING (SOUTH)

BHRUHAT BENGALURU MAHANAGARA PALIKE

AREA STATEMENT (BBMP)

PROJECT DETAIL:	VERSION NO: 1.0.9
Authority: BBMP	VERSION DATE: 01/11/2018
Inward No: BBMP/Ad.Com./SUT/0285/19-20	Plot Use: Commercial & Residential
Application Type: General	Land Use Zone: Commercial Area
Proposal Type: Building Permission	Plot/Sub Plot No: 554
Nature of Sanction: New	Khata No. (As per Khata Extract): 61-157-554
Location: Ring II	Locality / Street of the property: 9TH CROSS ROAD, 3RD PHASE JP NAGAR, BANGALORE.
Building Line Specified as per Z.R. NA	
Zone: South	
Ward: West 177	
Planning District: 216-Jayanagar	

AREA DETAILS:

AREA OF PLOT (Minimum)	(A)	SQ.MT.
NET AREA OF PLOT	(A-Deductions)	499.64
Permissible Coverage area (65.00 %)		324.76
Proposed Coverage Area (67.35 %)		306.51
Achieved Net coverage area (61.35 %)		306.51
Balance coverage area (WT) (3.65 %)		18.25

FAR CHECK

Permissible F.A.R. as per zoning regulation 2015 (2.25)	1124.19
Additional F.A.R. within Ring I and II (as envisaged in plot -)	0.00
Allowable TDR Area (60% of Plots FAR)	0.00
Allowable max. F.A.R. Plot within 150 M radius of Metro station (-)	0.00
Total Perm. FAR Area (2.25)	1124.19
Residential FAR	669.03
Commercial FAR	454.52
Proposed FAR Area	1123.55
Achieved Net FAR Area (2.248)	1123.55
Balance FAR Area (0.932)	0.64

BUILT UP AREA CHECK

Proposed Built-Up Area	1652.49
Substructure Area Add in BUAA (Lift)	15.00
Achieved Built-Up Area	1667.49

Approval Date : 08/03/2019 11:26:23 AM

COLOR INDEX

Block Name	Block Use	Block SubUse	Block Structure	Block Land Use Category
A (COMMERCIAL)	Commercial	Office	Bldg upto 11.5 m Ht	C1

OWNER / GPA HOLDER'S SIGNATURE

OWNER'S ADDRESS WITH ID NUMBER & CONTACT NUMBER :

MRS. B. A. GAYATHRI DEVI

NO: 150, SHRINIDHI, 3RD CROSS, 7TH MAIN, DOLLARS LAYOUT, JP NAGAR, 4TH PHASE, BANGALORE.

ARCHITECT/ENGINEER/SUPERVISOR'S SIGNATURE

SATHISHA.K.P.

NO: 32, 4TH MODEL HOUSE STREET ROAD, BASAVANAGUDI, BENGALURU. BCC/BL-3.6/E-3104/2007-08

DRAWING TITLE :

PLAN SHOWING THE PROPOSED COMMERCIAL BUILDING AND RESIDENTIAL HOSTEL BUILDING ON PROPERTY NO. 554, 9TH CROSS ROAD, 3RD PHASE JP NAGAR, BANGALORE. WARD NO. 177 (OLD NO. 57), PID NO. 57-157-554. AFTER DEMOLISHING THE EXISTING BUILDING.

SHEET NO : 1